



**C**HARTER **T**OWNSHIP OF **H**ARRISON

Building, Ordinance, Planning & Zoning

## **PORCH**

### **PLAN REVIEW SUBMITTAL REQUIREMENTS**

For quicker plan review turn around, please be sure to review and submit the following items. Please note: incomplete information may result in a longer review.

1. Completed building permit application.
2. Completed contractor's registration form, if applicable.
3. Copy of builder's license, if applicable.
4. Copy of liability insurance, if applicable.
5. Copy of driver's license.
6. 3 copies of site plans.
7. 3 copies of the porch plans.

While planning your project, please be aware of 2015 Residential Building Code and Township Ordinance requirements. Plans are submitted in multiples of three so one copy can be kept in the office, one copy for the inspectors and one copy for the customer to keep in their records. The inspectors copy is to be available on site during inspections. Please see below for an example of a site plan and building plans. On the examples, you will find Code and Ordinance references. Additional codes or ordinances may apply to your project.

If you have any questions, feel free to contact us at (586) 466.1400 ext. 3 or email [buildingdept@harrison-township.org](mailto:buildingdept@harrison-township.org).

Thank you,

Building Department Staff

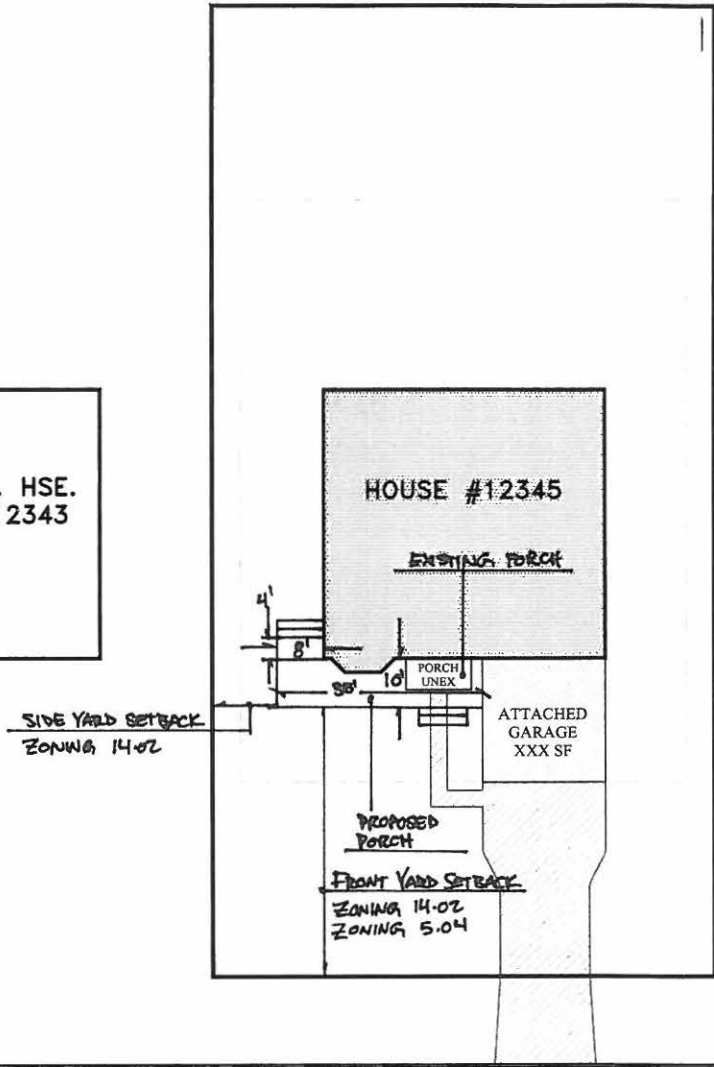
38151 L'Anse Creuse • Harrison Township, MI 48045-1996

Building (586) 466-1430 • Ordinance (586) 466-1455 or (586) 466-1423 • Planning & Zoning (586) 466-1461  
www.harrison-township.org • Fax (586) 465-2618

**SITE PLAN FOR 12345  
PARCEL ID# 12-34-567-890**

EX. HSE.  
#12343

EX. HSE.  
#12347



**ROAD NAME  
R.O.W.**

**NONCONFORMING LOTS, USES AND STRUCTURES  
SECTION 16.01 (N)**

HOUSE NUMBER	F.Y.S.	R.Y.S.
12347 EXAMPLE DR.	27'	22'
12349 EXAMPLE DR.	31'	28'
12343 EXAMPLE DR.	28'	30'
12341 EXAMPLE DR.	25'	25'
SUBJECT PROP. AVE.	27.75'	26.25'

**LOT COVERAGE & IMPERVIOUS SURFACE CALCULATIONS  
SECTION 14.02**  
 LOT SIZE = X.XX ACRE (X,XXX SF)  
 PERCENTAGE OF LOT COVERED BY BUILDING = X.XX% (X,XXX SF)  
 PERCENTAGE OF LOT COVERED BY IMPERVIOUS SURFACE = X.XX% (X,XXX SF)

**NOTE:**  
 PRIOR TO BACKFILL, A PRELIMINARY GRADE SURVEY IS REQUIRED TO BE SUBMITTED/SEALED BY LICENSED SURVEYOR. AT THIS PHASE IN THE PROJECT, THE GARAGE IS TYPICALLY NOT BUILT, THUS THE REQUEST FOR BOTH GARAGE AND HOUSE SETBACK DIMENSIONS AT LOT PLAN SUBMITTAL.

**NOTES:**  
 \* ALL SITE PLANS FOR NEW HOMES AND ADDITIONS GREATER THAN 50% OF EXISTING HOUSE REQUIRE A LEGAL SURVEY.  
 \* SITE PLANS WILL BE REVIEWED UNDER 2015 MRC AND CURRENT TOWNSHIP REGULATORY AND ZONING ORDINANCES  
 PLEASE VISIT:  
[HTTPS://MUNICODE.COM/LIBRARY/MI/HARRISON\\_CHARTER\\_TOWNSHIP/CODES/CODE\\_OF\\_ORDINANCES](https://municode.com/library/mi/harrison_charter_township/codes/code_of_ordinances)  
 \* THIS SITE PLAN IS FOR REFERENCE ONLY; CERTAIN PLANS MAY REQUIRE ADDITIONAL INFORMATION  
 \* SUBMIT ALL PLANS IN MULTIPLES OF 3; ONE OFFICE COPY, ONE CUSTOMER COPY AND ONE INSPECTOR'S COPY.

**LEGAL DESCRIPTION:**  
 (INCLUDE SUBDIVISION NAME AND LOT NUMBER)

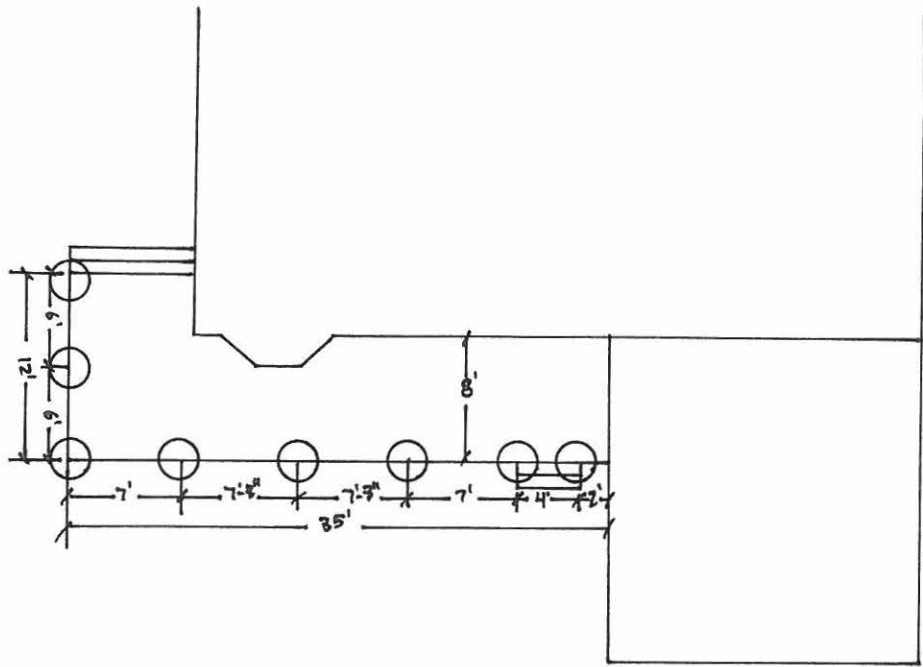


**72 HOURS  
(3 WORKING DAYS)  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
(TOLL FREE)**

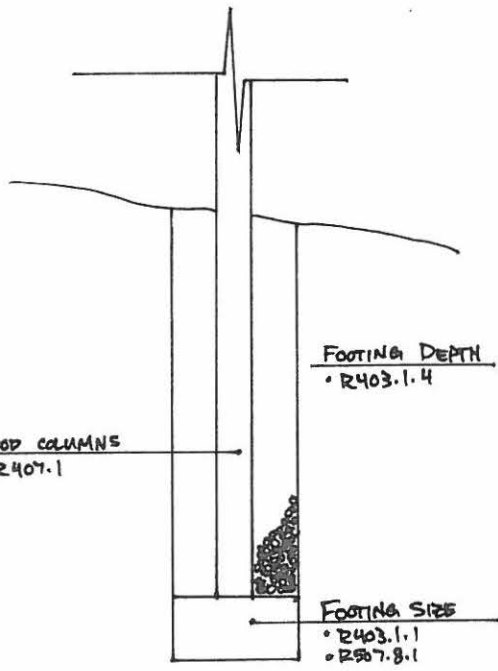
**LEGEND (COLOR CODED):**

- MECHANICAL EQUIPMENT A/C    GEN
- DRAINAGE PLAN →
- LOT LINE —
- LOT COVERAGE [ ]
- IMPERVIOUS SURFACE [ / ]
- BUILDING ENVELOPE [ ]
- STORM SEWER - - - - -
- SANITARY SEWER - · - · -
- WATER LEAD - · - - -
- GRADE ELEVATION AT PROPERTY LINES (XXX.XX)
- GRADE ELEVATION AT BUILDING [B.L. XXX.XX]

**Gateway Engineering & Surveying, Inc.**  
 Professional Engineering • Construction Staking • Construction Services • Soil Testing • Architectural Design & Rendering  
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 8155 ANNSBURY SUITE 109  
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FOUNDATION PLAN



FOOTING DETAILS

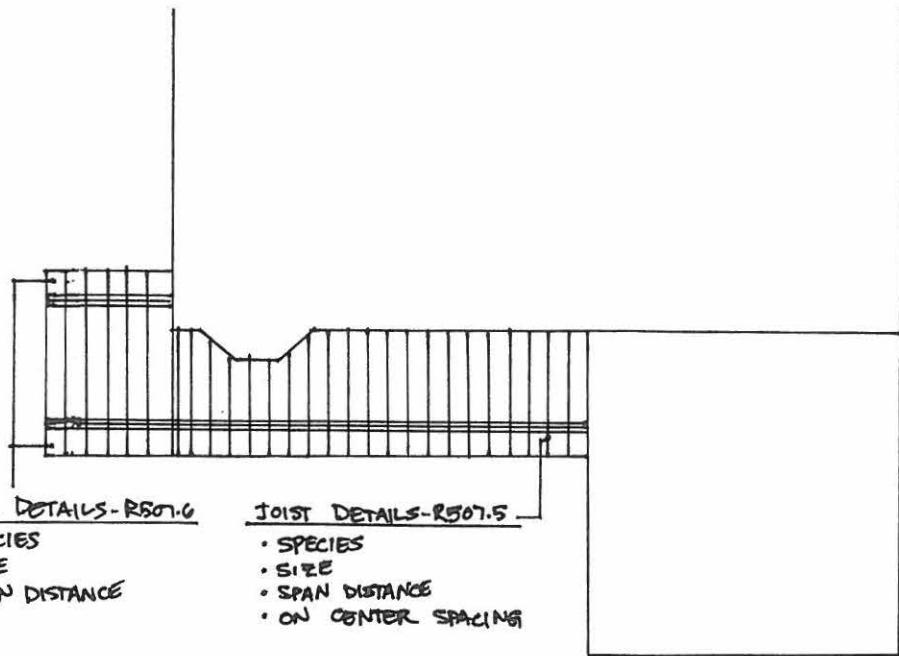
ADDITIONAL REFERENCES

CONCRETE SLABS - R506.1

FOUNDATION WALLS - R404

STRENGTH OF CONCRETE - R402.2

MINIMUM FOOTING SIZE - R403.1.1



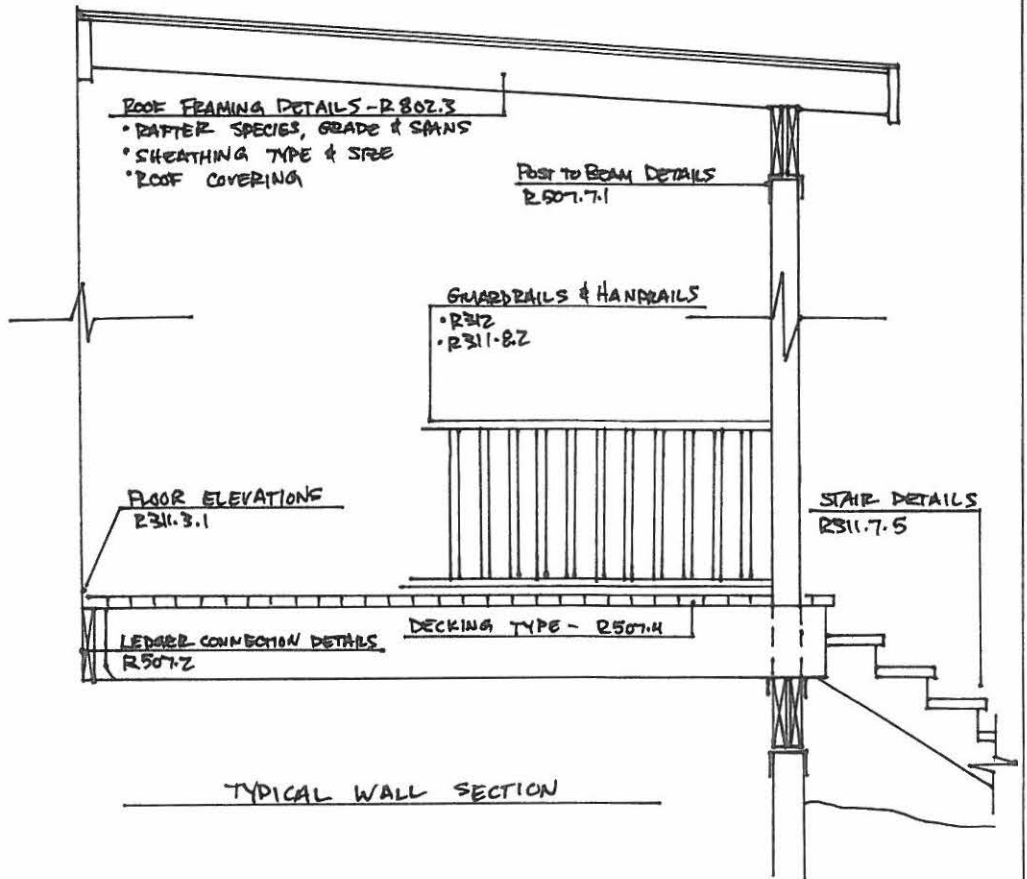
BEAM DETAILS-R507.6

- SPECIES
- SIZE
- SPAN DISTANCE

JOIST DETAILS-R507.5

- SPECIES
- SIZE
- SPAN DISTANCE
- ON CENTER SPACING

FRAMING PLAN



ROOF FRAMING DETAILS-R 802.3

- RAFTER SPECIES, GRADE & SPANS
- SHEATHING TYPE & SIZE
- ROOF COVERING

POST TO BEAM DETAILS  
R507.7.1

GUARDRAILS & HANDRAILS

- R312
- R311-8.2

FLOOR ELEVATIONS  
R311.3.1

STAIR DETAILS  
R311.7.5

LEDGER CONNECTION DETAILS  
R507.2

DECKING TYPE - R507.4

TYPICAL WALL SECTION