



FENCE PLAN REVIEW SUBMITTAL REQUIREMENTS

For quicker plan review turn around, please be sure to review and submit the following items. Please note: incomplete information may result in a longer review.

1. Completed building and zoning permit application.
2. Completed contractor's registration form, if applicable.
3. Copy of builder's license, if applicable.
4. Copy of liability insurance, if applicable.
5. Copy of driver's license.
6. 1 copy of the site plan with the proposed fence location.
7. 1 picture of the fence to be installed.

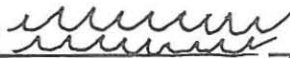
While planning your project, please be aware of Township Zoning Ordinance, section 6.01. Please see below for an example of a site plan and fence examples. On the examples, you will find Ordinance references as well as permitted locations.

If you have any questions, feel free to contact us at (586) 466.1400 ext. 3 or email buildingdept@harrison-township.org.

Thank you,

Building Department Staff

SITE PLAN FOR 12345
PARCEL ID# 12-34-567-890



WATERFRONT FENCES

- ZONING 6.01 (H,A)
- NON-OBSCURING AND DECORATIVE
- 4' MAXIMUM HEIGHT
- HEDGE ROWS INCLUDED

30'

SIDE & REAR YARD FENCES

- ZONING 6.01 (I)
- 6' MAXIMUM HEIGHT
- 4' CHAIN LINK PERMITTED
- INTERIOR LOTS *

EX. HSE.
#12343

HOUSE #12345

EX. HSE.
#12347

PORCH
UNEX

ATTACHED
GARAGE
XXX SF

15'

SIDE YARD FENCES

- ZONING 6.01 3 (A,B)
- NON-OBSCURING AND DECORATIVE. 4' MAXIMUM
- PRIVACY FENCE, SET BACK 15'. 6' MAXIMUM
- CORNER LOTS *

FRONT YARD FENCES

- ZONING 6.01 (2, A+B)
- NON-OBSCURING AND DECORATIVE
- 3' & 4' MAXIMUM HEIGHTS

10'

*** NOTE:**

NON-RESIDENTIAL & MULTIPLE FAMILY RESIDENTIAL USES REQUIRE PLANNING COMMISSION APPROVAL.

ROAD NAME
R.O.W.

NONCONFORMING LOTS, USES AND STRUCTURES
SECTION 16.01 (N)

HOUSE NUMBER	F.Y.S	R.Y.S
12347 EXAMPLE DR.	27'	22'
12349 EXAMPLE DR.	31'	28'
12343 EXAMPLE DR.	28'	30'
12341 EXAMPLE DR.	25'	25'
SUBJECT PROP. AVE.	27.75'	26.25'

LOT COVERAGE & IMPERVIOUS SURFACE CALCULATIONS
SECTION 14.02

LOT SIZE = X.XX ACRE (X,XXX SF)
 PERCENTAGE OF LOT COVERED BY BUILDING = X.XX % (X,XXX SF)
 PERCENTAGE OF LOT COVERED BY IMPERVIOUS SURFACE = X.XX % (X,XXX SF)

NOTE:

PRIOR TO BACKFILL, A PRELIMINARY GRADE SURVEY IS REQUIRED TO BE SUBMITTED/SEALED BY LICENSED SURVEYOR. AT THIS PHASE IN THE PROJECT, THE GARAGE IS TYPICALLY NOT BUILT, THUS THE REQUEST FOR BOTH GARAGE AND HOUSE SETBACK DIMENSIONS AT PLOT PLAN SUBMITTAL.

NOTES:







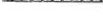





- * ALL SITE PLANS FOR NEW HOMES AND ADDITIONS GREATER THAN 50% OF EXISTING HOUSE REQUIRE A LEGAL SURVEY
- * SITE PLANS WILL BE REVIEWED UNDER 2015 MRC AND CURRENT TOWNSHIP REGULATORY AND ZONING ORDINANCES
- PLEASE VISIT [HTTPS://MUNICODE.COM/LIBRARY/M/HARRISON_CHARTER_TOWNSHIP/CODES/CODE_OF_ORDINANCES](https://MUNICODE.COM/LIBRARY/M/HARRISON_CHARTER_TOWNSHIP/CODES/CODE_OF_ORDINANCES)
- * THIS SITE PLAN IS FOR REFERENCE ONLY, CERTAIN PLANS MAY REQUIRE ADDITIONAL INFORMATION
- * SUBMIT ALL PLANS IN MULTIPLES OF 3, ONE OFFICE COPY, ONE CUSTOMER COPY AND ONE INSPECTORS COPY.

LEGAL DESCRIPTION:
(INCLUDE SUBDIVISION NAME AND LOT NUMBER)



72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL FREE)

LEGEND (COLOR CODED):

MECHANICAL EQUIPMENT	 
DRAINAGE PLAN	
LOT LINE	
LOT COVERAGE	
IMPERVIOUS SURFACE	
BUILDING ENVELOPE	
STORM SEWER	
SANITARY SEWER	
WATER LEAD	
GRADE ELEVATION AT PROPERTY LINES	
GRADE ELEVATION AT BUILDING	



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6' PRIVACY FENCE EXAMPLES



4' AND 3' DECORATIVE AND CHAIN LINK EXAMPLES



NOTE: SPIKES, RAZOR EDGES OR ANY SHARP OR POINTED FENCES ARE NOT PERMITTED