



DETACHED ACCESSORY STRUCTURE
PLAN REVIEW SUBMITTAL REQUIREMENTS

For quicker plan review, please be sure to submit the following items. Incomplete applications will delay permit issuances.

1. Completed building permit application.
2. Site plan (3 copies)
3. Building plans (3 copies)
4. Soil Erosion permit or Exemption from Macomb County, (if applicable)
5. Applicant photo ID (driver license)
6. Contractor's registration and documents; if not current

When planning your project, please review 2015 Residential Building Code and Township Ordinance requirements. Below are examples of Detached Accessory Structure building plans and a site plan with Code and Ordinance references. Additional Codes or Ordinances may apply to your project. Separate permits are required for Electrical, Mechanical, and Plumbing.

When your permit is issued, two copies of the plans will be returned to you; the "Customer Copy" is for your records, and the "Inspector Copy" must be on the jobsite with a copy of the Building Permit. The Building Department will retain one set for Township records.

If you have any questions, please contact us at (586) 466.1400 ext. 3 or email buildingdept@harrison-township.org.

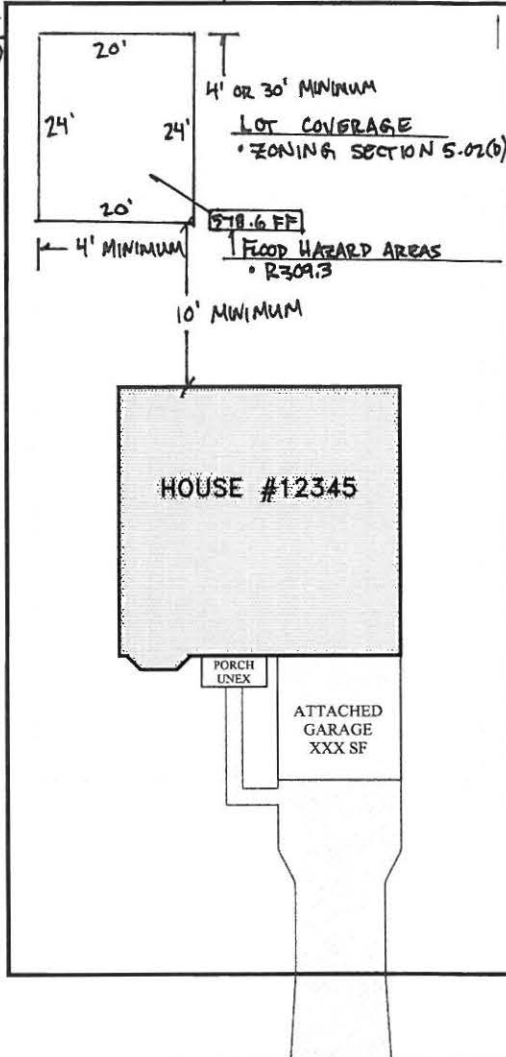
Thank you,

Building Department Staff

SITE PLAN FOR 12345
PARCEL ID# 12-34-567-890

SETBACKS AND PLACEMENT
 • ZONING SECTION 5.02(C)

SIZE & HEIGHT REQUIREMENTS
 • ZONING SECTION 5.02(B)



EX. HSE.
#12343

EX. HSE.
#12347

ROAD NAME
R.O.W.

NONCONFORMING LOTS, USES AND STRUCTURES
 SECTION 16.01 (N)

HOUSE NUMBER	F.Y.S.	R.Y.S.
12347 EXAMPLE DR.	27'	22'
12349 EXAMPLE DR.	31'	28'
12343 EXAMPLE DR.	28'	30'
12341 EXAMPLE DR.	25'	25'
SUBJECT PROP. AVE.	27.75'	26.25'

LOT COVERAGE & IMPERVIOUS SURFACE CALCULATIONS
 SECTION 14.02
 LOT SIZE = X.XX ACRE (X,XXX SF)
 PERCENTAGE OF LOT COVERED BY BUILDING = X.XX% (X,XXX SF)
 PERCENTAGE OF LOT COVERED BY IMPERVIOUS SURFACE = X.XX% (X,XXX SF)

NOTE:
 PRIOR TO BACKFILL, A PRELIMINARY GRADE SURVEY IS REQUIRED TO BE SUBMITTED/SEALED BY LICENSED SURVEYOR. AT THIS PHASE IN THE PROJECT, THE GARAGE IS TYPICALLY NOT BUILT, THUS THE REQUEST FOR BOTH GARAGE AND HOUSE SETBACK DIMENSIONS AT PLOT PLAN SUBMITTAL.

NOTES:
 • ALL SITE PLANS FOR NEW HOMES AND ADDITIONS GREATER THAN 50% OF EXISTING HOUSE REQUIRE A LEGAL SURVEY
 • SITE PLANS WILL BE REVIEWED UNDER 2015 MRC AND CURRENT TOWNSHIP REGULATORY AND ZONING ORDINANCES PLEASE VISIT:
[HTTPS://MUNICODE.COM/LIBRARY/MI/HARRISON_CHARTER_TOWNSHIP/CODES/CODE_OF_ORDINANCES](https://municode.com/library/mi/harrison_charter_township/codes/code_of_ordinances)
 • THIS SITE PLAN IS FOR REFERENCE ONLY, CERTAIN PLANS MAY REQUIRE ADDITIONAL INFORMATION
 • SUBMIT ALL PLANS IN MULTIPLE(S) OF 3; ONE OFFICE COPY, ONE CUSTOMER COPY AND ONE INSPECTORS COPY

LEGAL DESCRIPTION:
 (INCLUDE SUBDIVISION NAME AND LOT NUMBER)



72 HOURS
 (3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
 1-800-482-7171
 (TOLL FREE)

LEGEND (COLOR CODED):

MECHANICAL EQUIPMENT		
DRAINAGE PLAN	---	
LOT LINE	———	
LOT COVERAGE		
IMPERVIOUS SURFACE		
BUILDING ENVELOPE		
STORM SEWER	- - - - -	
SANITARY SEWER	- - - - -	
WATER LEAD	- - - - -	
GRADE ELEVATION AT PROPERTY LINES		
GRADE ELEVATION AT BUILDING		



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 8155 ANNSBURY SUITE 109
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EXAMPLE

CONCRETE FLOORS (ON GROUND)

- R506.2
- R402.2

FOOTING SIZE & TYPE

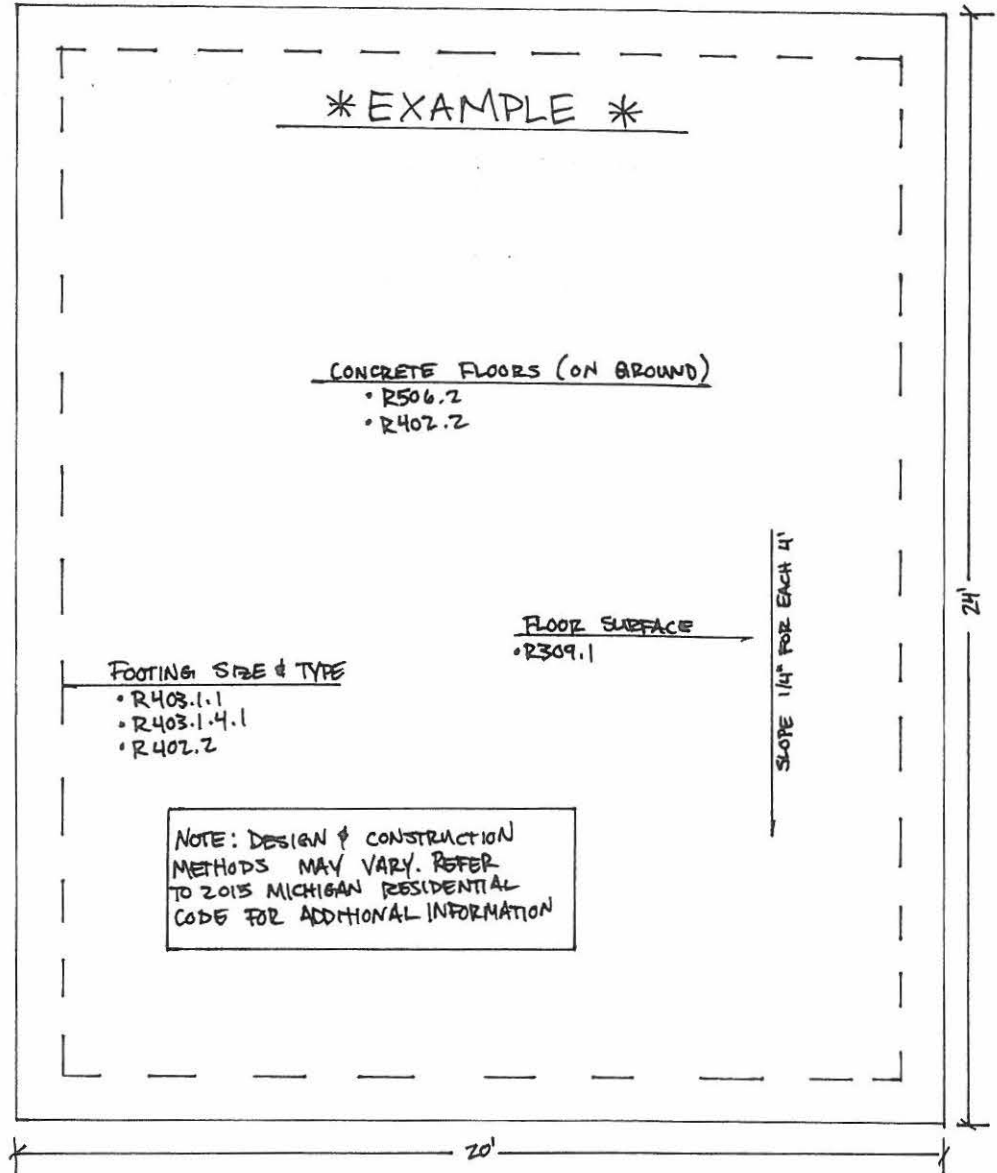
- R403.1.1
- R403.1.4.1
- R402.2

FLOOR SURFACE

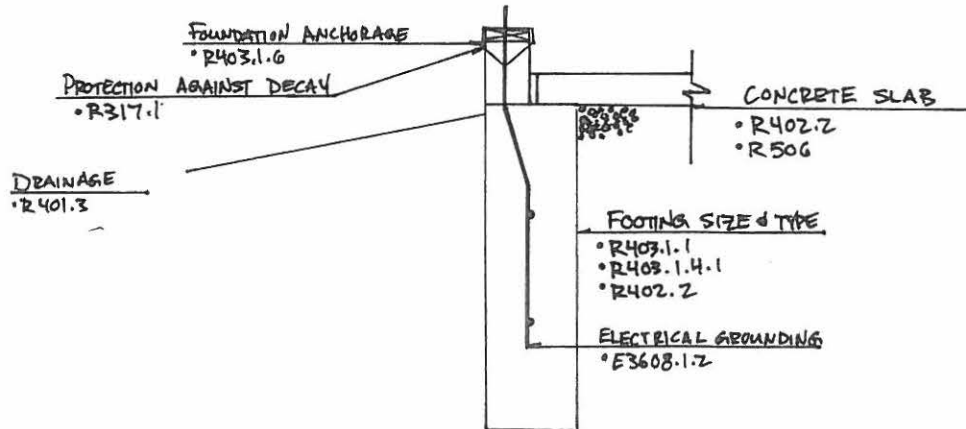
- R309.1

SLOPE 1/4" FOR EACH 4"

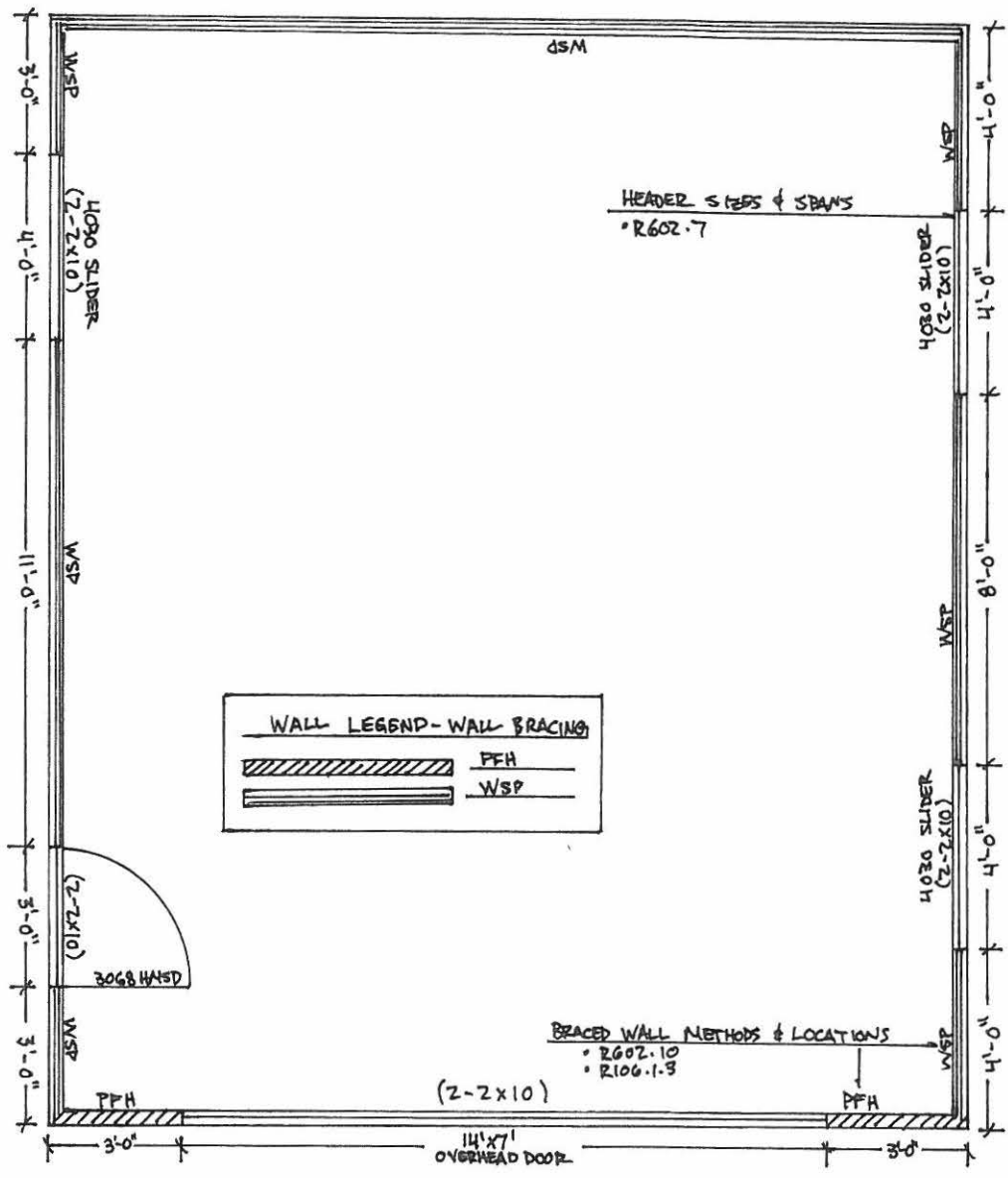
NOTE: DESIGN & CONSTRUCTION METHODS MAY VARY. REFER TO 2015 MICHIGAN RESIDENTIAL CODE FOR ADDITIONAL INFORMATION



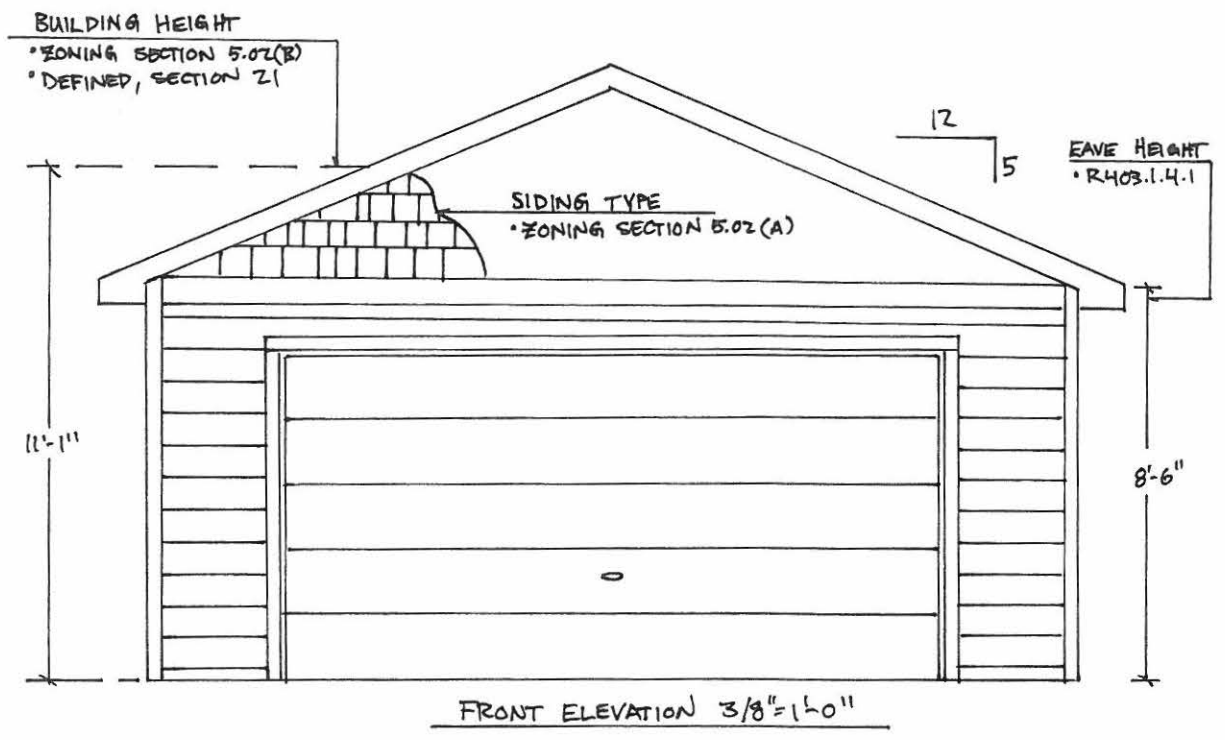
FOUNDATION PLAN VIEW 3/8" = 1'-0"



FOUNDATION SECTION VIEW 3/4" = 1'-0"



FLOOR PLAN 3/8" = 1'-0"

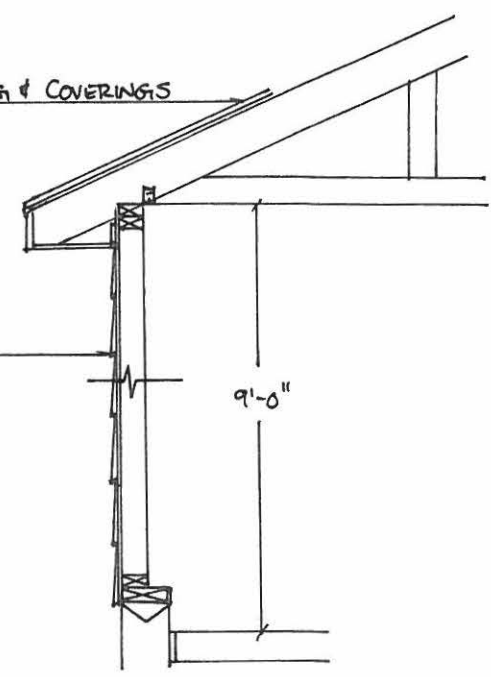


ROOF FRAMING & COVERINGS

- R802.4
- R802.5
- R802.10
- R802.11
- R803.1
- R803.2
- R904.1

WALL DETAILS

- R602.3.1
- R602.3.2
- R602.10
- R703.5
- ZONING 5.02(A)



WALL SECTION 3/4" = 1'-0"